



**City of Calistoga**

**PRELIMINARY DRAFT**

# **OBJECTIVE DESIGN STANDARDS**

**City Council / Planning Commission  
Joint Work Session**

**April 14, 2023**

# TABLE OF CONTENTS

## A. SITE STANDARDS

- A.1 Building Placement
- A.2 Reduced Bulk Zone
- A.3 Pedestrian Access
- A.4 Parking Location & Design
- A.5 Landscaping & Screening
- A.6 Common Open Space
- A.7 Utilities

## B. BUILDING DESIGN

- B.1 Massing & Scale
- B.2 Roof Design
- B.3 Façade Design & Articulation
- B.4 Windows
- B.5 Materials

**CITY OF CALISTOGA**  
**DRAFT OBJECTIVE STANDARDS**  
**April 13, 2023**

**A. SITE STANDARDS**

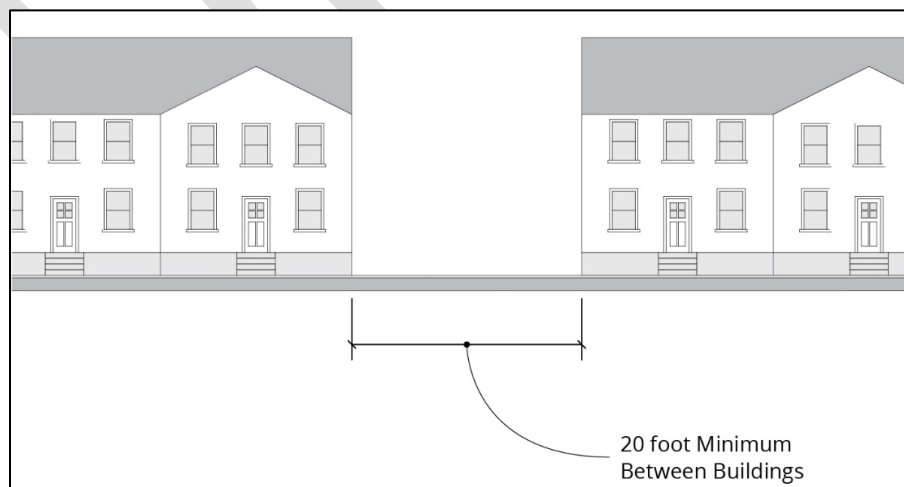
**A.1. Building Placement**

- 1.1 No building façade shall exceed 160 feet on any side.
- 1.2 The street-facing façade of any individual building shall not exceed 120 linear feet.



**Figure A.1.2.**

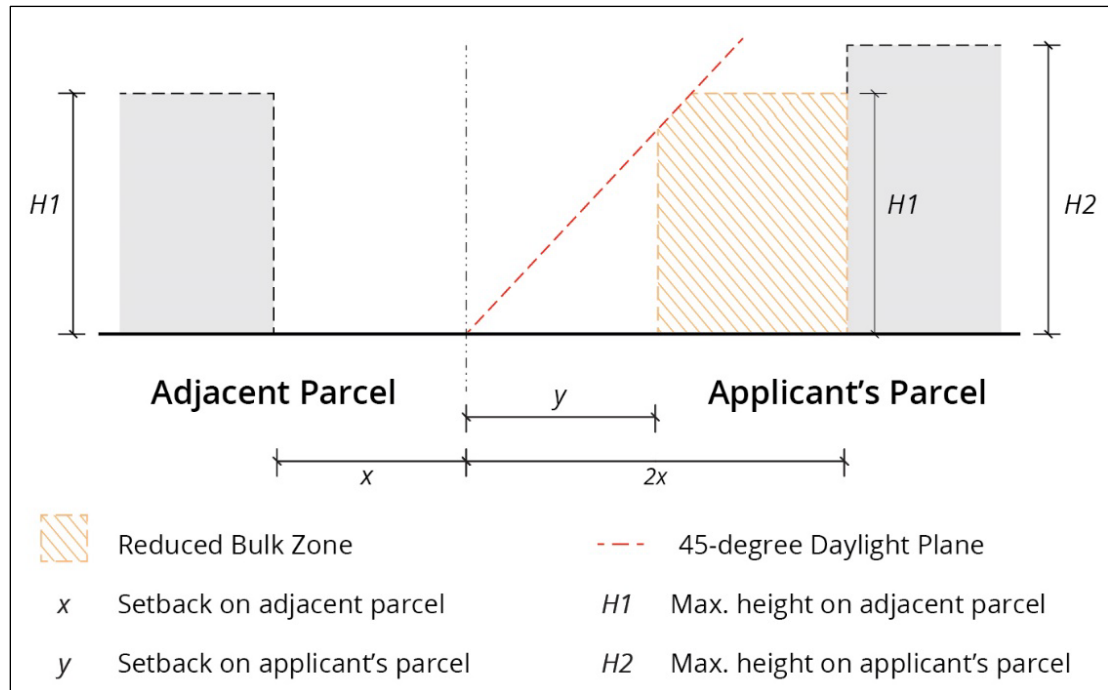
- 1.3 Where multiple buildings are sited on a street-facing frontage, the buildings shall be separated by a minimum 20 feet.



**Figure A.1.3.**

## A.2. Reduced Bulk Zone

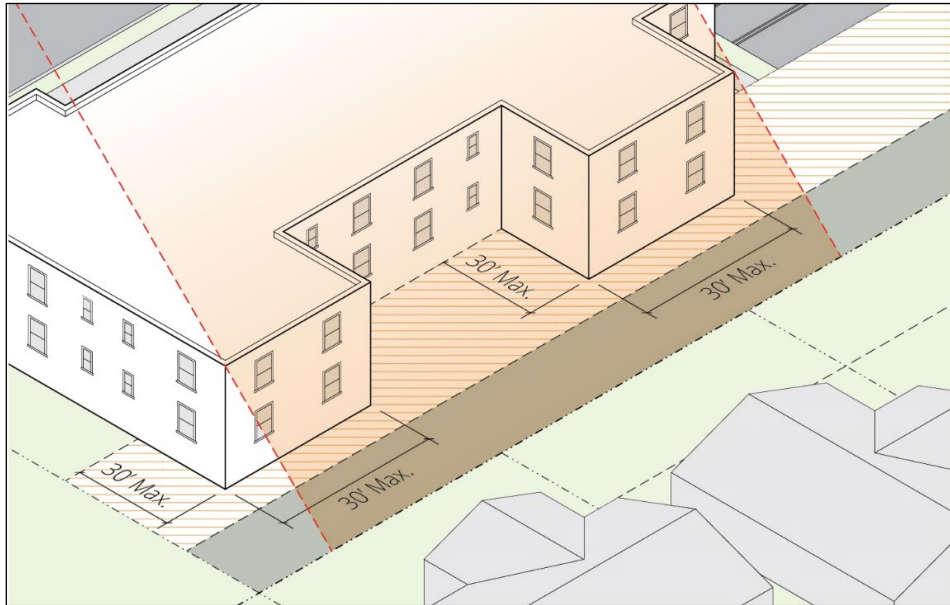
A Reduced Bulk Zone is established along a parcel line that is adjacent to R1 residential development.



**Figure A.2. Reduced Bulk Zone**

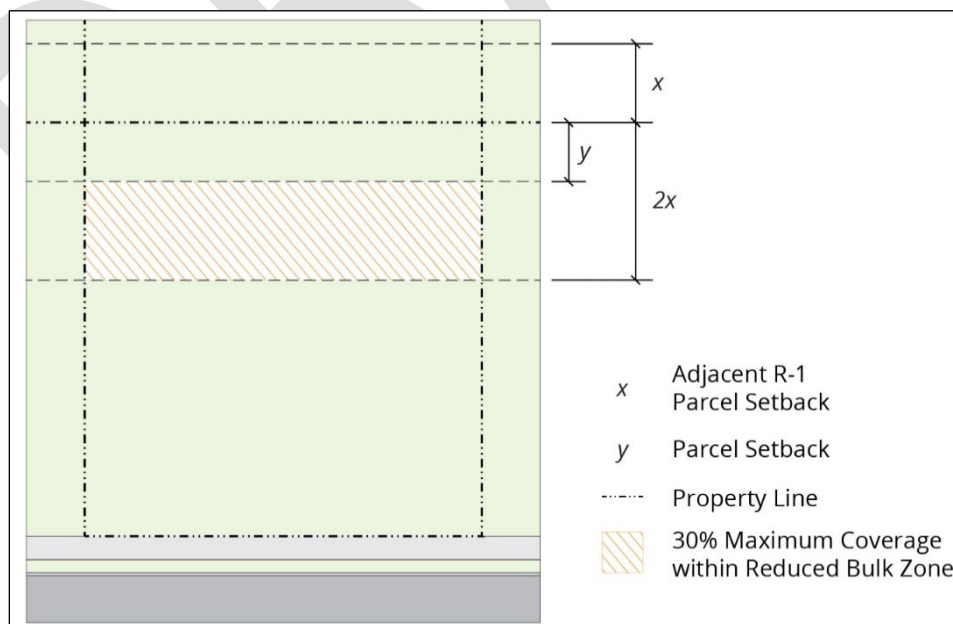
For any development within the Reduced Bulk Zone the following standards apply:

- 2.1 No building façade irrespective of balconies, bay windows, or any other architectural extrusion extending from the facade, shall exceed 30 feet in length.



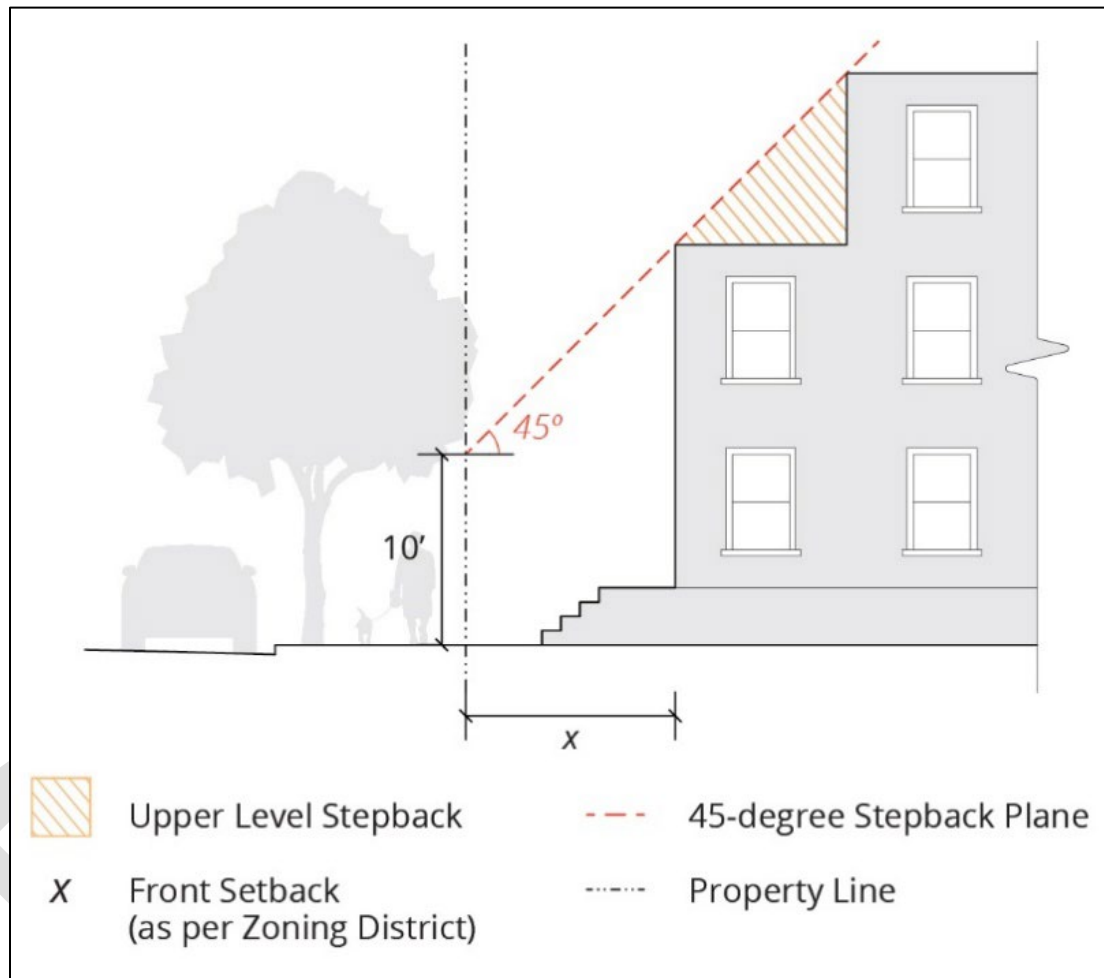
**Figure A.2.1.**

- 2.2 The maximum lot coverage of that part of the parcel within the Reduced Bulk Zone shall be 30 percent.

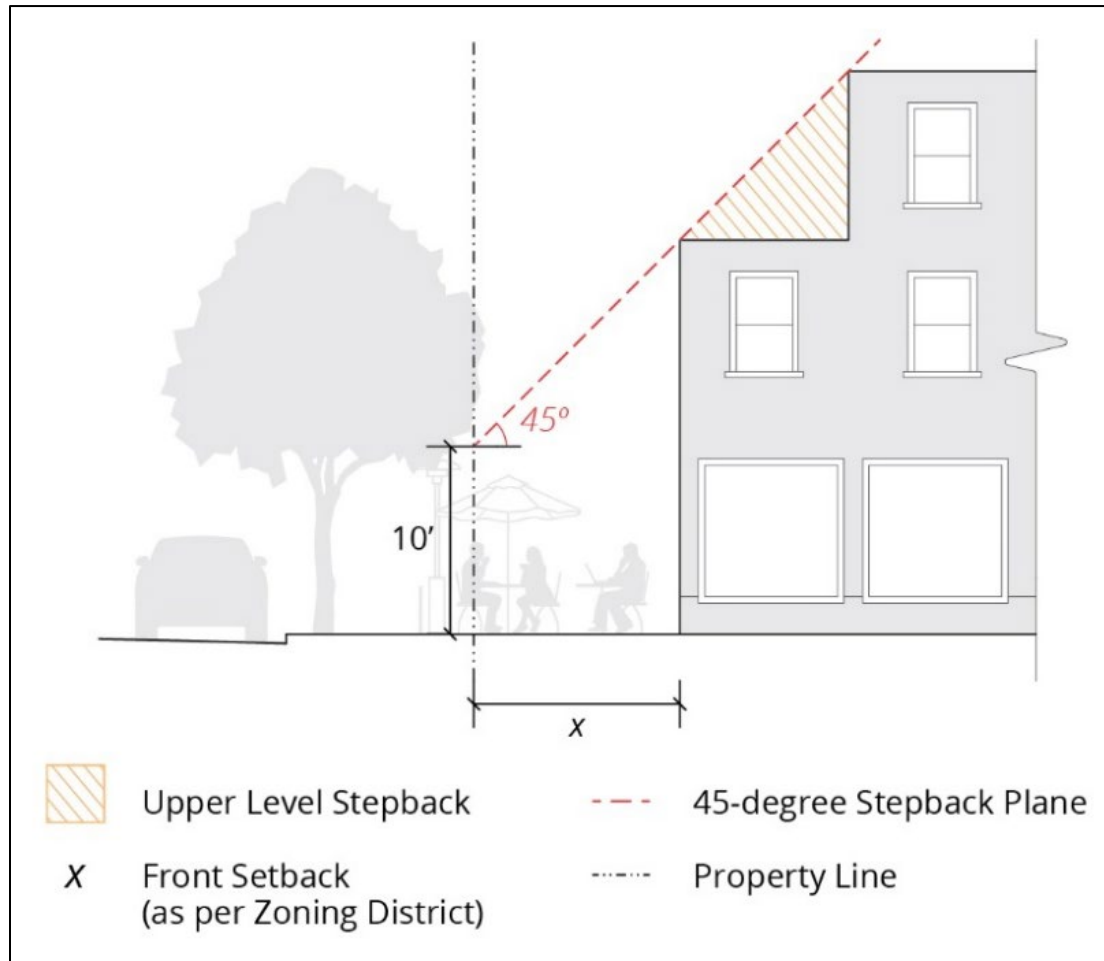


**Figure A.2.2.**

- 2.3 Development shall step back the upper stories so as not to conflict with a 45-degree daylight plane projected from the property line at the ground plane.
- 2.4 In addition to the required setback for the zoning district, upper-stories shall step back so as to not conflict with a 45-degree daylight plane projected from the right of way line at a point 10 feet above the ground plane.



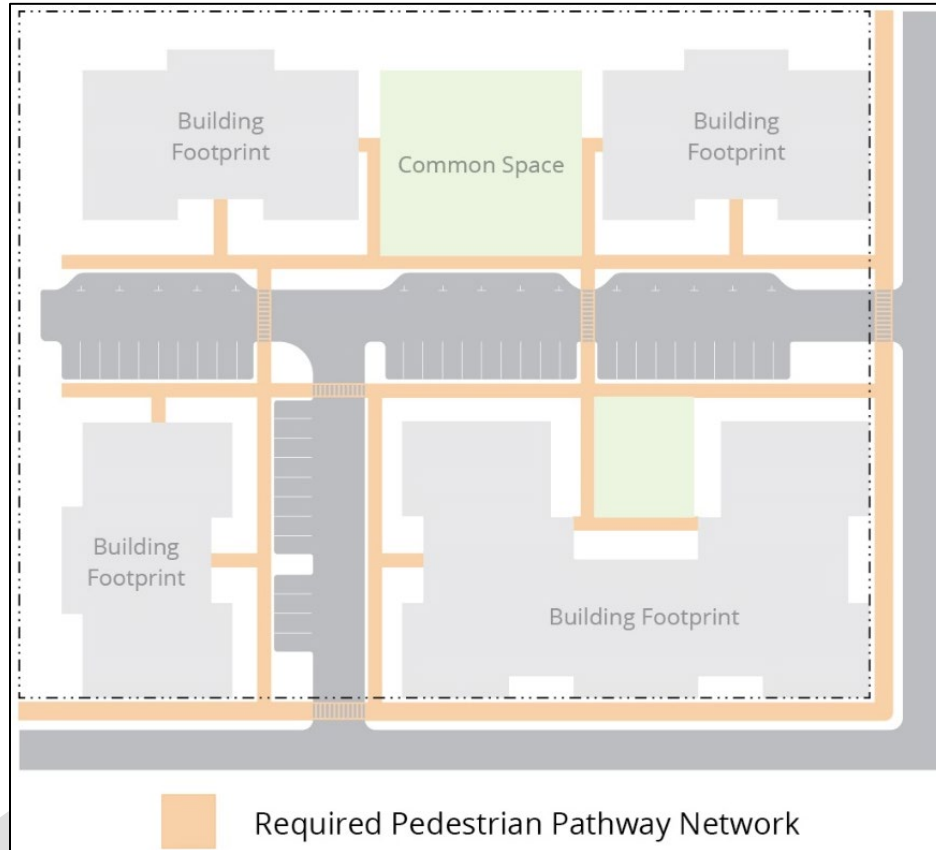
**Figure A.2.4 (a). Residential Frontage**



**Figure A.2.4 (b). Mixed-Use Frontage**

### A.3. Access

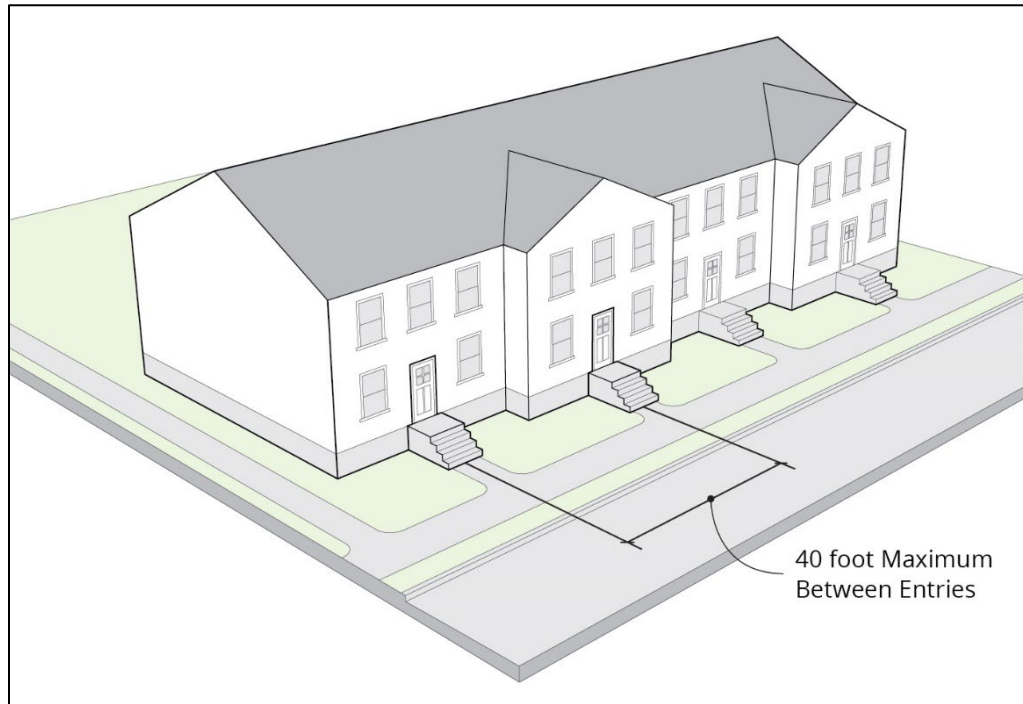
- 3.1 All buildings, entries, facilities, amenities, and parking areas shall be internally connected with pedestrian pathways. Pedestrian pathways shall connect to the public sidewalk along each street frontage.



**Figure A.3.1.**

- 3.2 To maintain privacy, pedestrian pathways are prohibited within 10 feet of a parcel line separating the project from a single-family zoning district.
- 3.3 Pedestrian pathways shall be separated from internal parking areas by a landscaped planting area with a minimum dimension of 5 feet.
- 3.4 Pedestrian pathways shall be separated from vehicular circulation and parking areas by a physical barrier, such as grade-separation or raised planting strip of a minimum of six inches.
- 3.5 Pedestrian routes or paths crossing drive aisles or parking lots shall be demarcated with decorative paving materials or colors contrasting with the ground plane material. Decorative paving material includes brick, patterned colored concrete, stone blocks, and pavers.

- 3.6 Buildings located along a public right-of-way must include a residential entry to an individual unit every 40 feet.



**Figure A.3.6.**

- 3.7 Driveways on corner parcels shall not be located on the interior parcel line between the building and the street.

**A.4. Parking Location and Design**

- 4.1 Access driveways and surface parking lots shall not be located between the building frontage and the right-of-way.
- 4.2 Carports and tuck-under parking shall not be located between any building and the public street.
- 4.3 A garage shall meet at least 1 of the following requirements:
- a. The garage shall be located behind the building and accessible from the side or the rear of the building.
  - b. An attached garage located on a street-facing façade of a building shall be recessed a minimum 18 inches from the wall plane and shall not exceed 40 percent of the total building façade.
- 4.4 Parking areas larger than 10,000 square feet must be designed as two or more smaller areas separated by a building or common usable open space. No individual parking lot shall exceed 10,000 square feet.

#### **A.5. Landscaping and Screening**

- 5.1 Walls shall be constructed of stone, wood, flagstone, or masonry materials.
- 5.2 Chain link, barbed wire, and razor wire are prohibited fence materials.
- 5.3 A minimum 10-foot-wide landscape buffer shall be provided between multi-family or mixed-use development and abutting single-family residential properties. The buffer shall include a solid wall or fence with a minimum 5-foot height and canopy trees planted at a rate of 1 tree per 30 feet.
- 5.4 Trees shall not be planted under overhead utility lines or over underground infrastructure.
- 5.5 Wrought iron fencing shall have a powder coated finish to reduce the potential for rust.
- 5.6 Stucco and plaster walls shall be designed to include a fence cap that is a different material than the wall.
- 5.7 Fences or walls adjacent to a public right-of-way shall provide landscaping facing the street.

#### **A.6. Common Open Space**

- 6.1 Common open space shall be provided in multifamily and mixed-use developments in the form of a courtyard(s), plaza(s), outdoor dining area, or other activity space.
- 6.2 Common open space shall provide overhead protection for a minimum 25 percent of the community open space area by either trees or structures, such as glass vaults, canopies, or trellises.

#### **A.7. Utilities**

- 7.1 Pedestrian-scale lighting shall be provided along all pedestrian paths such that the light source shall be a minimum 3 feet and a maximum 12 feet above grade.
- 7.2 Exterior lighting shall be fully shielded and restrain light to a minimum 30 degrees below the horizontal plane of the light source. Lighting shall be arranged so that light will not shine directly onto adjacent properties and shall be directed away from adjacent property lines.
- 7.3 Views of utility cabinets, mechanical equipment, trash receptacles, and service areas shall be screened from any public right-of-way with landscape plantings, fencing, or a wall. The screening shall be at least the same height as the equipment or object being screened.

- 7.4 Trash enclosures shall be constructed of the same materials and colors as the primary building.
- 7.5 Direct pedestrian access shall be provided to all outdoor mailboxes shall be installed so as to be directly accessed along the pedestrian network shown on the site plan.

## **B. BUILDING DESIGN**

### **B.1. Massing and Scale**

- 1.1 Where a project includes multiple buildings, design the building with the largest site coverage to incorporate one or more of the following solutions:
  - a. Vary building height by at least 2 vertical feet from the height of the adjacent building.
  - b. Provide a change in roof form, such as a gable, hip, or shed.
  - c. Introduce a minimum 30-foot break in the façade plane along a public right-of-way to accommodate a courtyard or entryway.
  - d. Vary the front setback by a minimum of 3 feet in depth for a minimum of 15 linear feet.
- 1.2 The first story shall be distinguished from the upper stories by using two or more architectural details on the front elevation that are not also used in the same pattern on the upper stories. Architectural forms and details may include:
  - 1. Arches
  - 2. Awnings
  - 3. Balconies
  - 4. Columns
  - 5. Cornices
  - 6. Lintels
  - 7. Moldings
  - 8. Trellises

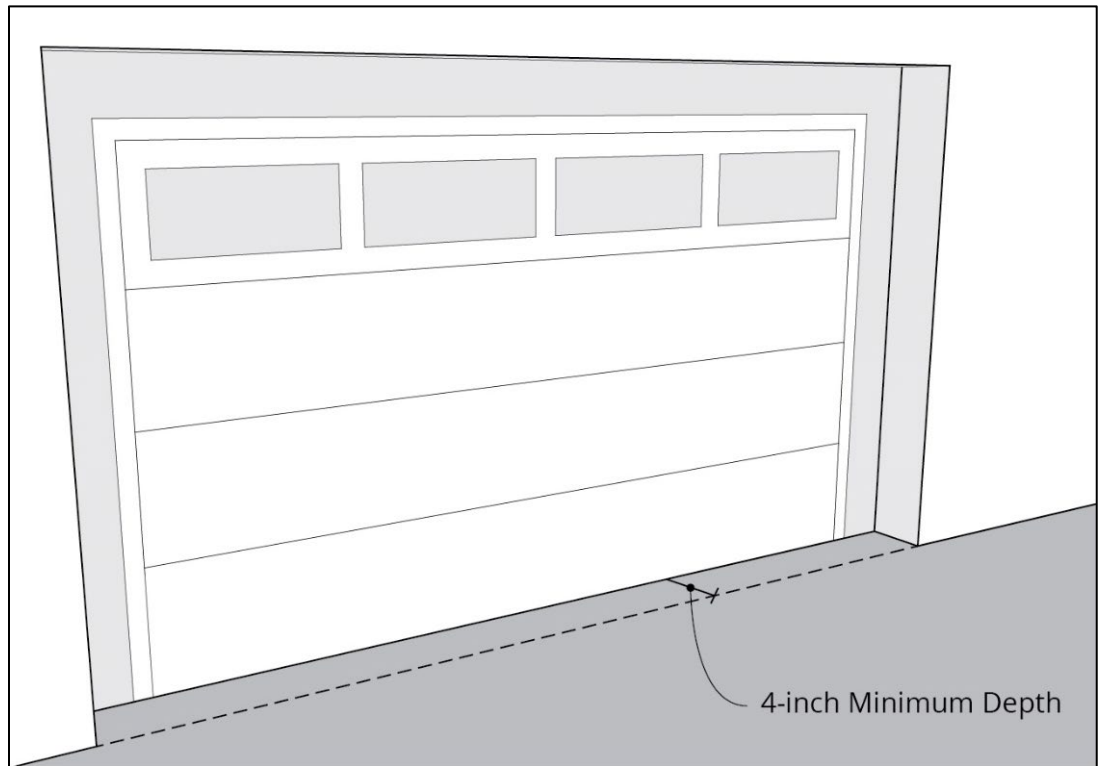
## **B.2. Roof Design**

- 2.1 Flat carport roofs are prohibited.
- 2.2 Roof eaves shall extend a minimum of 12 inches from the building facade.
- 2.3 Parapets shall be capped with precast treatments, continuous banding, or projecting cornices, dentils, or similar edge treatment consistent with the building and match the building with paint, finish, and trim cap detail.

## **B.3. Façade Design and Articulation**

- 3.1 At least two of the following features shall be included in the design of multistory buildings to break the building mass into smaller-scale components.
  - a. Projections a minimum of 4 inches in depth, such as awnings, canopies, porches, or decorative architectural details
  - b. Balconies with a minimum depth of 4 feet for a minimum of 20 percent of the façade
  - c. Dormers that shall not exceed 50 percent of the total roof length at the street-facing façade.
  - d. Awnings with a minimum vertical clearance of eight feet measured from the adjacent grade
  - e. Pilasters or columns that are at least 2 feet wide and extend a minimum of 60 percent of the height of the façade
  - f. Decorative architectural elements such as moldings, brackets, or corbels
- 3.2 A building façade fronting a primary or side street shall not extend more than 40 feet in length without a 3-foot variation in depth in the wall plane. Building entrances, front porches, upper-story setbacks, and projections such as stoops, bays, overhangs, and trellises count towards this requirement.
- 3.3 All buildings comprising a project shall be designed with the same palette of colors and materials and on all facades of each building.

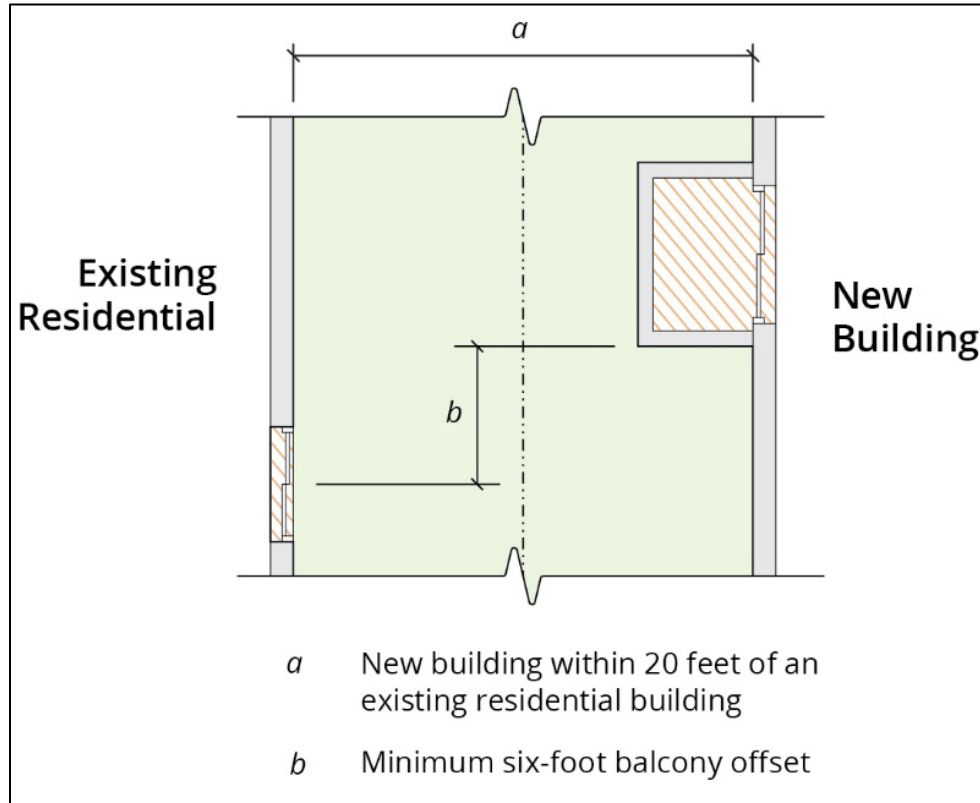
- 3.4 Garage doors shall be recessed into the garage wall, with a minimum of 4 inches, provided between the face of the garage door and the adjacent primary wall plane, to accentuate shadow patterns and relief.



**Figure B.3.4.**

- 3.5 Balconies and decks on upper stories facing single-family buildings shall be on a wall plane that is recessed a minimum of 5 feet.

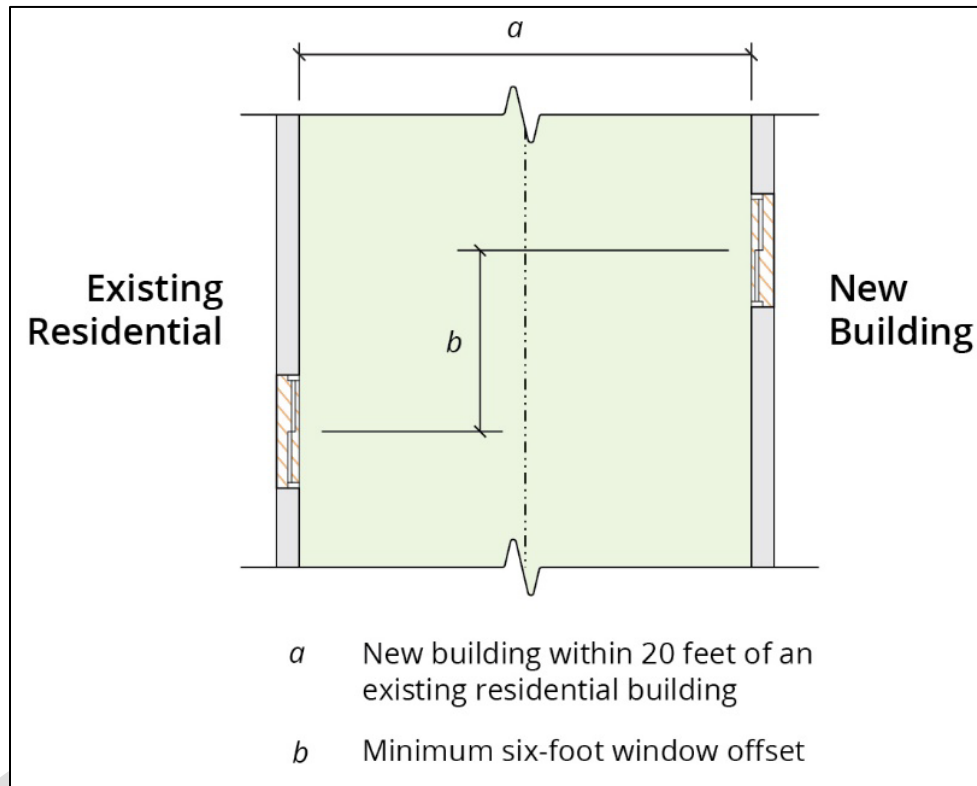
- 3.6 For any new building within 20 feet of an existing residential building on an adjacent property, any balcony shall be offset so that any part of the balcony is no closer than 6 feet to the centerline of any of the existing building's upper-floor windows.



**Figure B.3.6.**

#### B.4. Windows

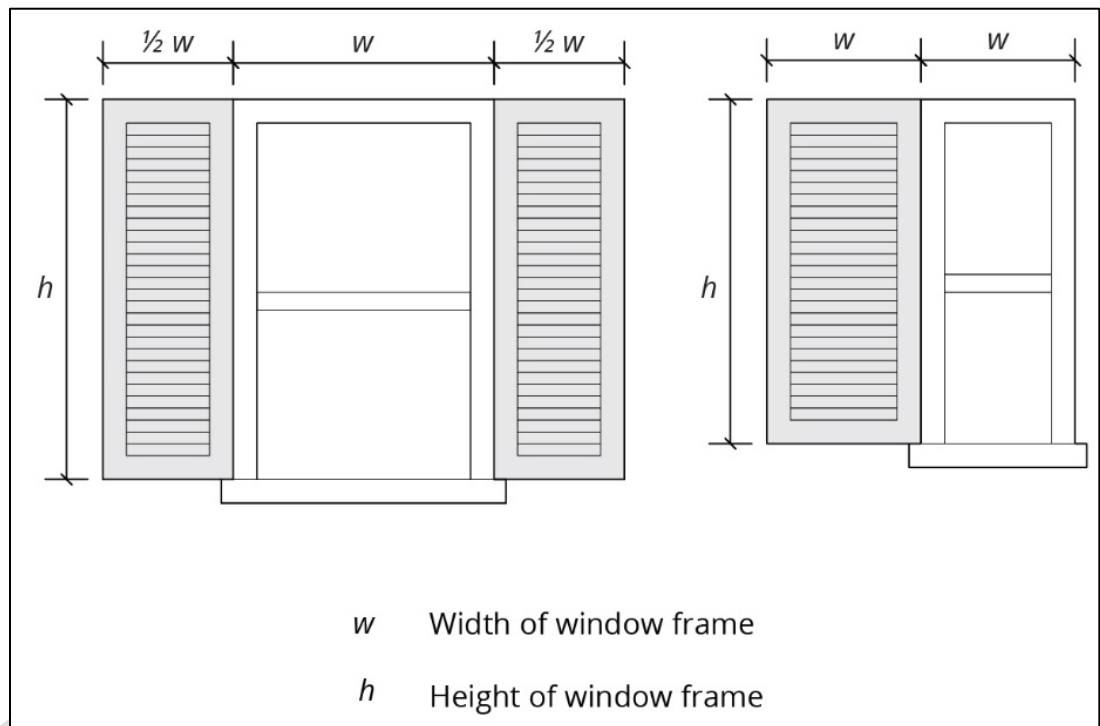
- 4.1 For any new building within 20 feet of an existing residential building on an adjacent property, the centerline of any upper-floor windows shall be offset from the centerline of any of the existing building's upper-floor windows by no less than 8 feet.



**Figure B.4.1.**

- 4.2 The sill of upper story windows that are within 20 feet of an adjoining R1 residential use uses shall be placed a minimum of 42 inches above finish floor.
- 4.3 One of the following window treatments shall be provided on all elevations:
- Windows shall be recessed at least two inches from surrounding exterior wall to the window glass surface.
  - Built-up sills and trim, at a minimum ½ inch thick, shall be used to create surface relief and texture.
- 4.4 Window trim, sills, and shutters shall be varied with accent materials or colors that are differentiated from the adjacent building wall surfaces.
- 4.5 Window frames, mullions, and muntins shall be wood, steel, or aluminum-clad wood. Tinted or reflective glass is prohibited.

- 4.6 Window materials, color, and style that are implemented on the front building façade shall be incorporated on all other façades.
- 4.7 Functional and decorative shutters shall maintain the same dimensions as the associated framing. Functional and decorative shutters shall be half the width of the associated window framing (for paired shutters), or matching width for a single shutter.



**Figure B.4.7.**

### **B.5. Materials**

- 5.1 The primary wall finish material shall be wood, stone, brick, stucco, fiber cement or other cementitious material, or stone. T1-11 siding, all grooved or patterned wood panel, or composite wood panel siding are prohibited. Primary wall finish material is the material covering the largest percentage of surface area of any building façade or elevation.
- 5.2 Structures shall incorporate a minimum of two building materials on each building elevation.
- 5.3 Reflective building materials are prohibited.